



Cultural Heritage Screening Report

PREPARED FOR:

Strada Aggregates Inc.
Part of Lots 11-14, Concession 3
Township of Melancthon

File no. Y349K

January 2025



PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

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Project Personnel

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Partner

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Associate

Author

Glossary of Abbreviations

ARA	<i>Aggregate Resources Act</i>
CHER	<i>Cultural Heritage Evaluation Report</i>
HIA	<i>Heritage Impact Assessment</i>
MHBC	<i>MacNaughton Hermsen Britton Clarkson Planning Limited</i>
MCM	<i>Ministry of Citizenship and Multiculturalism</i>
OHA	<i>Ontario Heritage Act</i>
OHTK	<i>Ontario Heritage Toolkit</i>
O. REG 9/06	<i>Ontario Regulation 9/06 for determining cultural heritage significance (as amended by Ontario Regulation 569/22)</i>
PPS 2020	<i>Provincial Policy Statement (2020)</i>

Executive Summary

Introduction and background

MHBC was retained by Strada Aggregates Inc. to undertake a Cultural Heritage Screening Report for the proposed Strada Pit / Quarry, located in the Township of Melancthon (County of Dufferin). The purpose of this Cultural Heritage Screening Report was to identify any potential built heritage resources as well as cultural heritage landscapes which may be present within the subject lands, and provide a preliminary evaluation of resources as applicable.

The subject site is not designated under the *Ontario Heritage Act*. The property was evaluated under the *Criteria for Evaluating Potential for Built Heritage Resources and Cultural Heritage Landscapes* by the *Ontario Ministry of Tourism, Culture and Sport* (currently the Ministry of Citizenship and Multiculturalism) and it was determined that the project area does not have cultural heritage value. As such, this report provides the documentation of review exercise, which has included:

- a review of site details in order to understand the site context;
- a review of relevant background information and supporting reports; and
- an online search to determine the presence of onsite and nearby heritage resources.

Summary of cultural heritage findings

It has been determined that the subject site does not contain any potential built heritage resources, and does not contain any significant cultural heritage landscapes. As such, a Cultural Heritage Evaluation Report is not required.

Conclusion

This report has been prepared in order to address the Cultural Heritage Report Standards found within Part 2 of the Aggregate Resources of Ontario Standards, per Ontario Regulation 244/97 under the *Aggregate Resources Act*, in order to understand the potential for resources to be present on the subject lands. No cultural heritage resources have been identified, therefore no further study is recommended.

1.0 Introduction

MHBC has been retained by Strada Aggregates Inc. to prepare a Cultural Heritage Screening Report related to the proposed Strada Pit / Quarry, located at the site of the existing Melancthon Pit operation. The subject site is located on the east side of 4th Line, north of County Road 17 and south of Side Road 15 (see **Figure 1**). The site is currently permitted to operate as a pit, and Strada is applying to permit both a pit and quarry operation on the lands. Portions of the lands were the subject of previous assessment undertaken by MHBC as part of the 2017 application process.

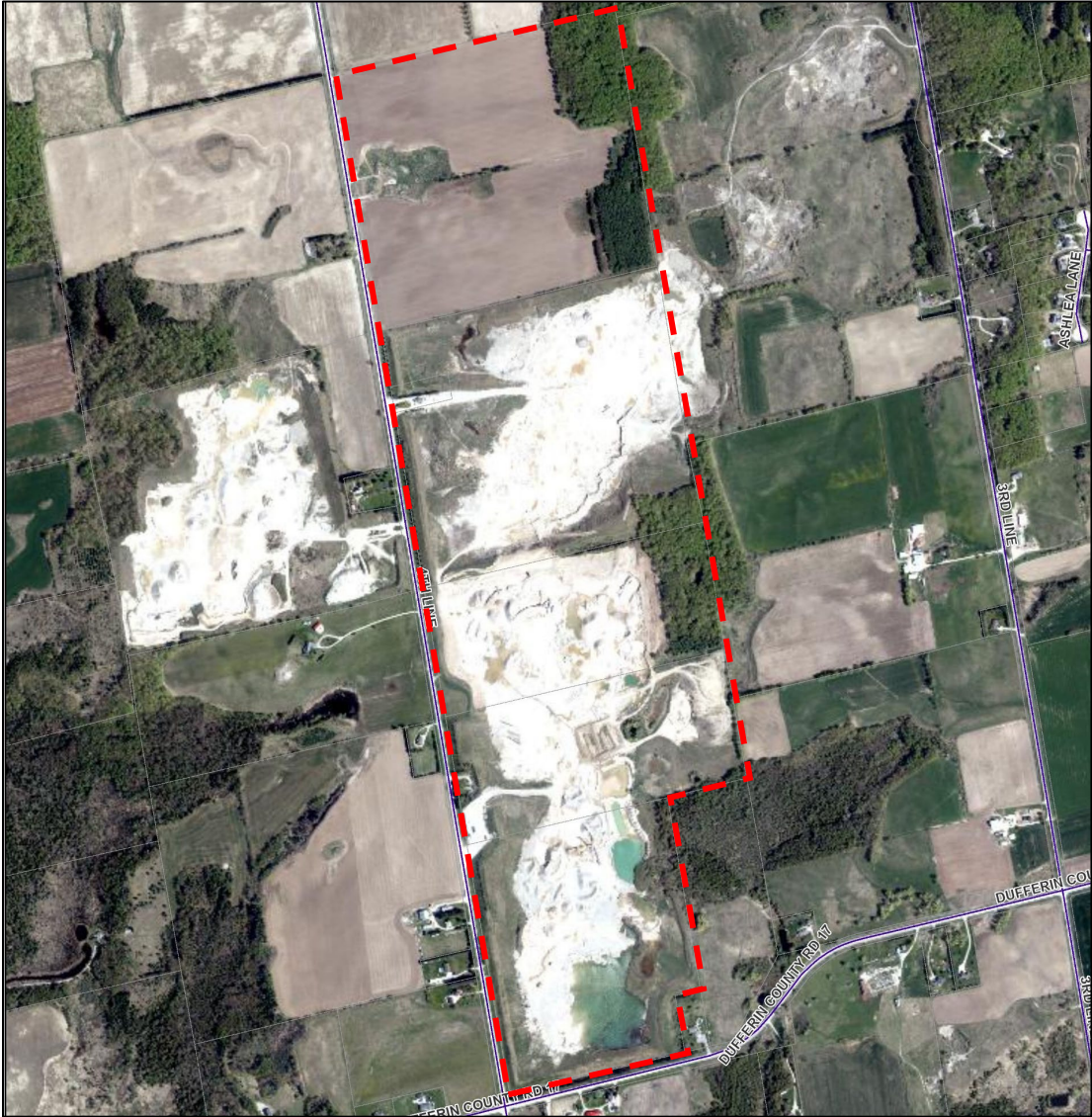


Figure 1: Site context depicting subject lands (source: Dufferin County, 2023)

In order to facilitate the proposal, Strada Aggregates Inc. is applying for a new Licence under the *Aggregate Resources Act* to permit both a pit and quarry to operate onsite.

This Cultural Heritage Screening Report has been prepared in order to determine if any cultural heritage resources are present on the subject lands, to better inform if additional study is required in order to evaluate the property and assess the potential for impacts to cultural heritage resources.

This report also addresses the Cultural Heritage Report Standards found within Part 2 of the Aggregate Resources of Ontario Standards, per Ontario Regulation 244/97 under the *Aggregate Resources Act*, in order to understand the potential for resources to be present on the subject lands.

1.1 Location of subject lands

The subject lands are comprised of Parts of Lots 11-14, Concession 3 in the Township of Melancthon, within the County of Dufferin. The lands are currently utilized for the Strada Aggregates Melancthon Pit operation, which consists of three licences (Licence #'s 129167, 625155 and 626199) and operate as an above water gravel pit.

It is proposed to convert the site into a combined pit and quarry operation, which will operate in a unified manner. The property has a proposed licence area of approximately 149.0 hectares, a proposed pit limit of extraction of approximately 123.7 ha, and a proposed quarry extraction area of approximately 65.9 hectares. Some areas of the site are in agricultural use, while others comprise active operational areas. There are no residence dwellings or agricultural buildings located onsite. **Figure 2**, below depicts the existing site and proposed operational sequence.

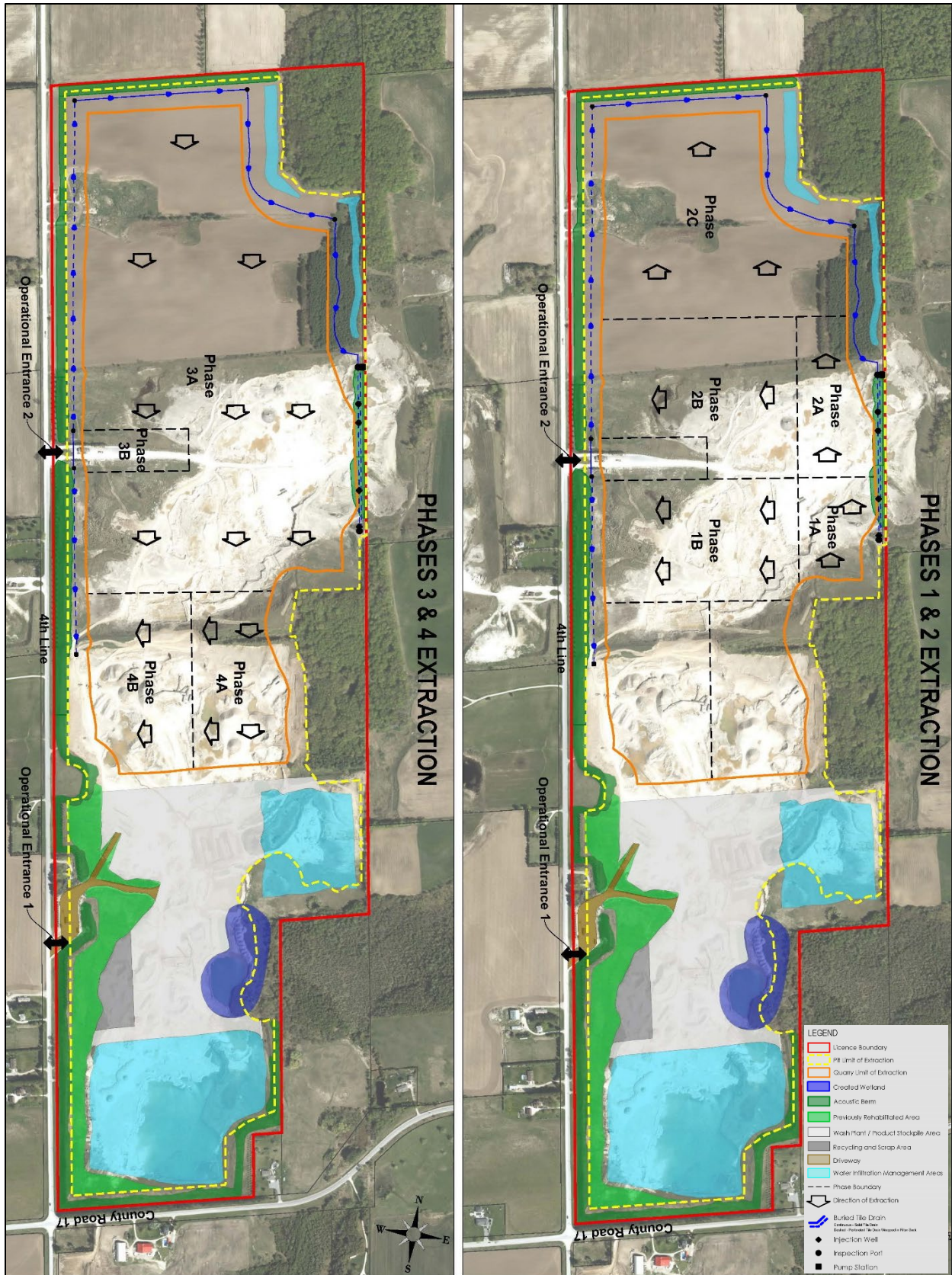


Figure 2: Operational plan schematic (source: MHBC)

2.0 Policy context

2.1 The Planning Act and PPS 2024

The *Planning Act* makes a number of provisions respecting cultural heritage, either directly in Section 2 of the Act or Section 3 respecting policy statements and provincial plans. In Section 2, the *Planning Act* outlines 18 spheres of provincial interest that must be considered by appropriate authorities in the planning process. One of the intentions of *The Planning Act* is to “encourage the co-operation and co-ordination among the various interests”. Regarding cultural heritage, Subsection 2(d) of the Act provides that:

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as, ...

(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

The *Planning Act* therefore provides for the overall broad consideration of cultural heritage resources through the land use planning process.

In support of the provincial interest identified in Subsection 2 (d) of the *Planning Act*, and as provided for in Section 3, the Province has refined policy guidance for land use planning and development matters in the *Provincial Planning Statement* (PPS). The newest PPS came into effect on October 20th, 2024. It applies to all decisions made with respect to planning matters after that date and will apply to the subject applications. The PPS is intended “to be read in its entirety and the relevant policy areas are to be applied to each situation”. This provides a weighting and balancing of issues within the planning process. When addressing cultural heritage planning, the PPS provides for the following:

4.6.1 Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.

4.6.3. Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected heritage property will be conserved.

The PPS defines the following terms

Protected Heritage Property: *Protected heritage property: means property designated under Part IV or VI of the Ontario Heritage Act; property included in an area designated as a heritage conservation district under Part V of the Ontario Heritage Act; property subject to a heritage conservation easement or covenant under Part II or IV of the Ontario Heritage Act; property identified by a provincial ministry or a prescribed public body as a property having cultural heritage value or interest under the Standards and Guidelines for the Conservation of Provincial Heritage Properties; property protected under federal heritage legislation; and UNESCO World Heritage Sites.*

Built Heritage Resource: *means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community.*

Cultural Heritage Landscape: *means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association.*

Conserved: *means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches should be included in these plans and assessments.*

The subject site or built features on the subject site are not considered to be a *protected heritage property* under the consideration of the PPS, as they are not designated under any part of the *Ontario Heritage Act* or subject to conservation

easement, and have not been identified by provincial, federal or UNESCO bodies. Therefore, the subject lands do not constitute a protected cultural heritage property.

2.2 Aggregate Resources Act Provincial Standards

The *Aggregate Resources Act* Provincial Standards (per Ontario Regulation 244/97 under the *Aggregate Resources Act*), require applications for new aggregate extraction operations to include information related to cultural heritage resources. Part 2 of the Aggregate Resources of Ontario Standards outlines the Cultural Heritage Report standards and sets out a phased approach depending on the potential for resources to be present. The standards indicate as follows:

A completed screening checklist evaluating the potential for built heritage resources and cultural heritage landscapes with supporting documentation is required. If the checklist identifies the potential for built heritage resources and/or cultural heritage landscapes, a Cultural Heritage Evaluation report is required and must be prepared by a person with appropriate experience and expertise. If the evaluation confirms one or more built heritage resources or cultural heritage landscapes, a Heritage Impact Assessment must be completed. If the application is on Crown Land or an unorganized territory, letter(s) from the Ministry of Heritage, Sport, Tourism and Culture Industries must be obtained.

Accordingly, this Screening Report has been prepared in order to address the Cultural Heritage Report Standards outlined above, in order to understand the potential for resources to be present on the subject lands. Recommendations for further study are contained in the conclusions section as applicable.

3.0 Historical context

3.1 Background history

The subject lands are located within a physiographic region identified as the Dundalk Till Plain (Chapman and Putnam 1984:130-133) that has been characterized as the “roof” of peninsular Ontario with elevations from 1400 to 1750 feet above sea level. Distinguished by a fluted till plain with poorly drained lands and swampy areas, the original tree cover on better drained areas resulted in beech, maple and birch growth, with the occasional outcrop of willow flats. The poor drainage conditions caused the original surveyor to record the Melancthon Township area as being “all swamp”, together with a perception that this was the meanest land ever surveyed (Chapman and Putnam, 1984).

Melancthon Township was later surveyed in two parts: the original survey conducted by surveyor Hugh Black in 1825 and a revised survey by Charles Rankin in 1830. The “old survey” comprised the first four concessions of the Township, generally oriented north-south with ten square lots of 100 acres contained within a rectangular land block formed by the concession and side-roads. The Rankin or “new survey” was generally re-oriented northwest southeast towards the Toronto Line surveyed in 1848. This resulted in ten rectangular lots contained within a square configuration bounded by concession and side-roads.

The subject lands are located within the area covered by the ‘Old Survey’, as shown in the *Illustrated Historical Atlas of the County of Grey* (see **Figure 3** below)

3.2 Site history and development

The Mapping from the 1880 *Illustrated Historical Atlas of Grey County* shows no buildings or structures located on the subject lands. The central portion of the subject site is shown as being owned by D. Hodgson.

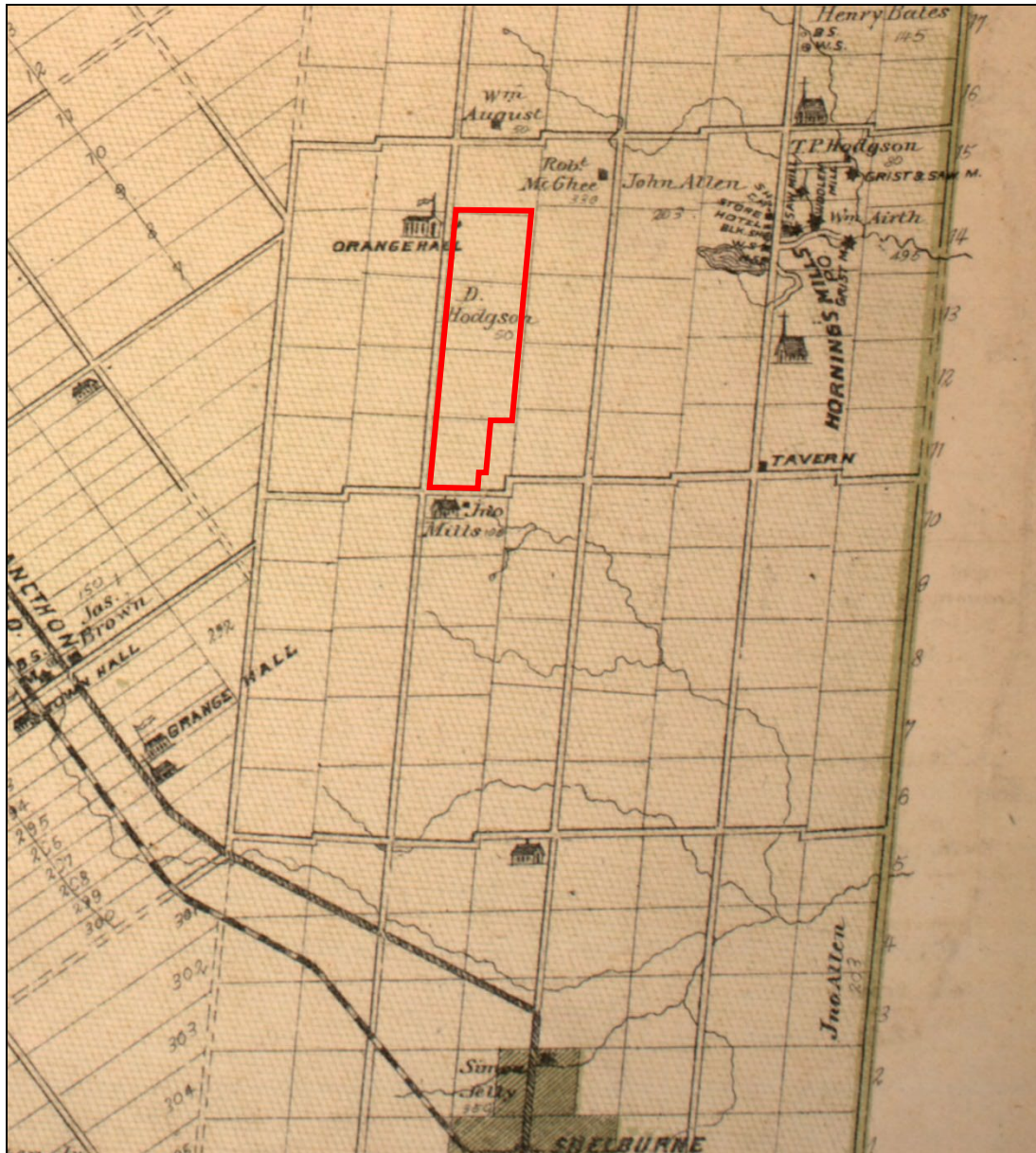


Figure 3 – Excerpt from Historical Atlas of Grey County

A review of various aerial photographs was also undertaken in order to determine the site features present in later decades on the subject lands. The 1954 set of aerial photographs undertaken by Hunting Survey Corporation on behalf of the Province of Ontario are of good quality and show the site features quite well. An excerpt from the compilation covering this portion of Melancthon Township is shown below as **Figure 4**.

Based on a review of the information, the agricultural past of the subject site is evident. There are what appear to be farm building clusters located in the northern portions of the subject lands, whereas the southern portion of the subject lands are vacant. Field

divisions are also readily apparent. The plantation located at the rear of the property has not yet been planted.



Figure 4 – Excerpt from 1954 aerial photograph

Additional aerial photos from 2010 were reviewed, in order to understand the site context during that time period. Based on a review of the information, the aggregate operation within the central portion is in full operation. The northern and southern portions of the subject lands remain in agricultural production, with the northern portion containing a farm building cluster and the southern portion containing a rural

residential dwelling. The aggregate operation to the south of the quarry site has not yet commenced.



Figure 5 – Excerpt from 2010 aerial photograph (*source: Dufferin County*).

Additional aerial photos from 2020 were reviewed. Based on a review of the newer aerial photos, the various stages of the overall Melancthon Pit operation are visible, including pit operations on adjacent lands to the west and east. In addition, the farm

building cluster in the northern portion of the subject lands had been removed, as was the rural residential dwelling in the southern portion.



Figure 6 – Excerpt from 2020 aerial photograph (source: Dufferin County).

4.0 Description of site and surrounding features

4.1 Description of subject lands

The subject lands presently contain an active aggregate extraction operation, as well as areas that are licenced for extraction but not yet under development. Buildings and structures which were previously present on the northern and southern portions have been removed in preparation for aggregate extraction on-site. The subject lands are not listed or designated under any part of the *Ontario Heritage Act*.

4.2 Description of potential heritage resources

4.2.1 Built features

The subject lands do not contain any built features (except those associated with the aggregate operation). As noted, previous dwellings and outbuildings been removed in order to prepare the site for aggregate extraction.



Photos 1 & 2: View of former farm building cluster site (left) and driveway to former rural residential dwelling (source: MHBC, 2022)

4.2.2 Landscape setting and context

The subject lands are situated in an agricultural area that has continued to evolve in the decades since this portion of Melancthon Township was originally settled. In recent years, the subject lands have been prepared for aggregate extraction as the Melancthon Pit operation expands. The surrounding area continues to be characterized by farm-related and non-farm-related dwellings, agricultural buildings and additional aggregate extraction operations.

The character of the subject site is a combination of agricultural use and aggregate extraction operation, as depicted below.



Photos 3 - 6: Views of fields in northern portion of subject lands, taken from northeast corner (top) and southwest corner (source: MHBC, 2022)



Photos 7 - 10: Views of central and southern subject lands taken from 4th Line (*source: MHBC, 2022*)

4.3 Heritage status of nearby properties

In order to confirm the presence of identified cultural heritage resources, several databases were consulted. These databases included available information from Dufferin County and the Township of Melancthon, the Ontario Heritage Trust website, and the Canadian Register of Historic Places. Having reviewed the above databases, no designated heritage resources (including built heritage or cultural heritage landscapes) are located within the subject lands or adjacent.

5.0 Potential significance of cultural heritage resources

5.1 Introduction

The subject site is not designated under the *Ontario Heritage Act*, and the subject lands do not contain any buildings or structures currently listed on a municipal Heritage Register. As part of this study, the subject lands were evaluated under the *Criteria for Evaluating Potential for Built Heritage Resources and Cultural Heritage Landscapes* (see **Appendix A**). This section summarizes the work undertaken and the applicable findings.

5.2 Built heritage resources and cultural heritage landscapes

The subject lands located at Part of Lots 11-14, Concession 3 represents an evolved rural agricultural area that had its beginnings in the late 19th century. Portions of the subject lands are currently utilized for an active aggregate extraction operation. The subject lands do not contain any built resources and is not considered to be a significant cultural heritage landscape.

5.3 Summary of potential cultural heritage character

The subject lands have undergone a screening exercise in order to flag the potential for the project area to contain built resources or landscape features of potential cultural heritage value. Based on the review undertaken, the subject lands do not have potential cultural heritage value.

6.0 Conclusion

This report has been prepared in order to address the Cultural Heritage Report Standards found within Part 2 of the Aggregate Resources of Ontario Standards, per Ontario Regulation 244/97 under the *Aggregate Resources Act*. Specifically, this report provides the required screening checklist and supporting documentation as outlined in the Standards.

The purpose of this Cultural Heritage Screening Report was to identify any potential built heritage resources as well as cultural heritage landscapes which may be present within the subject lands, and provide a preliminary evaluation of resources as applicable.

The property was evaluated under the *Criteria for Evaluating Potential for Built Heritage Resources and Cultural Heritage Landscapes* by the *Ontario Ministry of Tourism, Culture and Sport* (currently the Ministry of Citizenship and Multiculturalism). This report concludes that there are no cultural heritage resources located on the subject lands within the area of proposed development.

Since the area of proposed development on the subject lands does not contain any potential built heritage resources, and does not contain any significant cultural heritage landscapes, a Cultural Heritage Evaluation Report is not required. Accordingly, this Cultural Heritage Screening Report fulfills the requirements of the *Aggregate Resources Act* as it relates to the Cultural Heritage Report Standards.

7.0 Works cited

County of Dufferin. Dufferin County Interactive Map. Online resource accessed July and November 2023: <https://dufferincounty.maps.arcgis.com/home/index.html>

Hunting Survey Corporation Limited. Digital Aerial Photographs, Southern Ontario. Online resource accessed July 2023: <https://mdl.library.utoronto.ca/collections/air-photos/1954-air-photos-southern-ontario/index>

Ministry of Culture (now Ministry of Citizenship and Multiculturalism). InfoSheet#5 Heritage Impact Assessments and Conservation Plans, 2006

Ministry of Tourism, Culture and Sport (now Ministry of Citizenship and Multiculturalism). Criteria for Evaluating Potential for Built Heritage Resources and Cultural Heritage Landscapes, A Checklist for the Non-Specialist, 2016.

MacNaughton Hermsen Britton Clarkson Planning Limited (MHBC), Cultural Heritage Survey (Part of Lots 12 & 14, Concession 3, Melancthon Township), May 2017.

Ministry of Municipal Affairs and Housing, Provincial Policy Statement, May 2020.

Native Land Digital. Online resource accessed July 2023: <https://native-land.ca/>

Parks Canada. Canadian Register of Historic Places. Online resource accessed July 2023: <http://www.historicplaces.ca/en/pages/register-repertoire.aspx>

Pope, J.H., Illustrated Historical Atlas of the County of Grey, Toronto: Walker & Miles, 1880.

Queen's Printer for Ontario. Ontario Heritage Toolkit, 2006.

Queen's Printer for Ontario. *Ontario Heritage Act*, R.S.O 1990.

Whose Land – Territories by Land. Online resource accessed April 2023: <https://www.whose.land/en/>.

Appendix **A** – Ministry checklist

The **purpose of the checklist** is to determine:

- if a property(ies) or project area:
 - is a recognized heritage property
 - may be of cultural heritage value
- it includes all areas that may be impacted by project activities, including – but not limited to:
 - the main project area
 - temporary storage
 - staging and working areas
 - temporary roads and detours

Processes covered under this checklist, such as:

- *Planning Act*
- *Environmental Assessment Act*
- *Aggregates Resources Act*
- *Ontario Heritage Act* – Standards and Guidelines for Conservation of Provincial Heritage Properties

Cultural Heritage Evaluation Report (CHER)

If you are not sure how to answer one or more of the questions on the checklist, you may want to hire a qualified person(s) (see page 5 for definitions) to undertake a cultural heritage evaluation report (CHER).

The CHER will help you:

- identify, evaluate and protect cultural heritage resources on your property or project area
- reduce potential delays and risks to a project

Other checklists

Please use a separate checklist for your project, if:

- you are seeking a Renewable Energy Approval under Ontario Regulation 359/09 – [separate checklist](#)
- your Parent Class EA document has an approved screening criteria (as referenced in Question 1)

Please refer to the Instructions pages for more detailed information and when completing this form.

Project or Property Name

Strada Pit / Quarry

Project or Property Location (upper and lower or single tier municipality)

Part of Lots 11-14, Concession 3, Township of Melancthon, Dufferin County

Proponent Name

Strada Aggregates

Proponent Contact Information

Grant Horan | GHoran@Strada-Aggregates.com

Screening Questions

	Yes	No
1. Is there a pre-approved screening checklist, methodology or process in place?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If Yes, please follow the pre-approved screening checklist, methodology or process.

If No, continue to Question 2.

Part A: Screening for known (or recognized) Cultural Heritage Value

	Yes	No
2. Has the property (or project area) been evaluated before and found not to be of cultural heritage value?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If Yes, do **not** complete the rest of the checklist.

The proponent, property owner and/or approval authority will:

- summarize the previous evaluation and
- add this checklist to the project file, with the appropriate documents that demonstrate a cultural heritage evaluation was undertaken

The summary and appropriate documentation may be:

- submitted as part of a report requirement
- maintained by the property owner, proponent or approval authority

If No, continue to Question 3.

	Yes	No
3. Is the property (or project area):		
a. identified, designated or otherwise protected under the <i>Ontario Heritage Act</i> as being of cultural heritage value?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. a National Historic Site (or part of)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. designated under the <i>Heritage Railway Stations Protection Act</i> ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. designated under the <i>Heritage Lighthouse Protection Act</i> ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. identified as a Federal Heritage Building by the Federal Heritage Buildings Review Office (FHBRO)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. located within a United Nations Educational, Scientific and Cultural Organization (UNESCO) World Heritage Site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If Yes to any of the above questions, you need to hire a qualified person(s) to undertake:

- a Cultural Heritage Evaluation Report, if a Statement of Cultural Heritage Value has not previously been prepared or the statement needs to be updated

If a Statement of Cultural Heritage Value has been prepared previously and if alterations or development are proposed, you need to hire a qualified person(s) to undertake:

- a Heritage Impact Assessment (HIA) – the report will assess and avoid, eliminate or mitigate impacts

If No, continue to Question 4.

Part B: Screening for Potential Cultural Heritage Value

	Yes	No
4. Does the property (or project area) contain a parcel of land that:		
a. is the subject of a municipal, provincial or federal commemorative or interpretive plaque?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. has or is adjacent to a known burial site and/or cemetery?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. is in a Canadian Heritage River watershed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. contains buildings or structures that are 40 or more years old?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Part C: Other Considerations

	Yes	No
5. Is there local or Aboriginal knowledge or accessible documentation suggesting that the property (or project area):		
a. is considered a landmark in the local community or contains any structures or sites that are important in defining the character of the area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. has a special association with a community, person or historical event?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. contains or is part of a cultural heritage landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If Yes to one or more of the above questions (Part B and C), there is potential for cultural heritage resources on the property or within the project area.

You need to hire a qualified person(s) to undertake:

- a Cultural Heritage Evaluation Report (CHER)

If the property is determined to be of cultural heritage value and alterations or development is proposed, you need to hire a qualified person(s) to undertake:

- a Heritage Impact Assessment (HIA) – the report will assess and avoid, eliminate or mitigate impacts

If No to all of the above questions, there is low potential for built heritage or cultural heritage landscape on the property.

The proponent, property owner and/or approval authority will:

- summarize the conclusion
- add this checklist with the appropriate documentation to the project file

The summary and appropriate documentation may be:

- submitted as part of a report requirement e.g. under the *Environmental Assessment Act*, *Planning Act* processes
- maintained by the property owner, proponent or approval authority

Appendix **B** – Curriculum Vitae

Education

University of Waterloo
Masters of Arts (Planning)

University of Waterloo
Bachelor of Environmental Studies

University of Saskatchewan
Bachelor of Arts (Art History)

Professional Associations

Registered Professional Planner

Full Member, Canadian Institute of Planners (CIP)

Full Member, Ontario Professional Planners Institute (OPPI)

Professional Member, Canadian Association of Heritage Professionals

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Dan Currie

BA, BES, MA, MCIP, RPP, CAHP

Dan Currie, a Partner and Managing Director of MHBC's Cultural Heritage Division, joined MHBC Planning in 2009, after having worked in various positions in the public sector since 1997. Dan provides a variety of planning services for public and private sector clients including a wide range of cultural heritage policy and planning work including strategic planning, heritage policy, heritage conservation district studies and plans, heritage master plans, cultural heritage evaluations, heritage impact assessments and cultural heritage landscape studies.

Selected Project Experience

Heritage Conservation District Studies and Plans

- Streetsville Heritage Conservation District Plan (underway)
- Amherstburg Heritage Conservation District Plan (underway)
- Melville Street Heritage Conservation District Plan (underway)
- Stouffville Heritage Conservation District Plan (2022)
- Alton Heritage Conservation District Study, Caledon (2021)
- Port Stanley Heritage Conservation District Plan (2021)
- Port Credit Heritage Conservation District Plan, Mississauga (2018)
- Town of Cobourg Heritage Conservation District Plan updates (2016)
- Rondeau Heritage Conservation District Plan, Chatham Kent (2016)
- Barriefield Heritage Conservation District Plan Update, Kingston (2015)
- Victoria Square Heritage Conservation District Study, Markham (2015)
- Bala Heritage Conservation District Study and Plan, Township of Muskoka Lakes (2015)
- Brooklyn and College Hill Heritage Conservation District Plan, Guelph (2014)
- Garden District Heritage Conservation District Study and Plan, Toronto (2014)
- Downtown Meaford Heritage Conservation District Study and Plan (2013)

Heritage Master Plans and Management Plans

- City of Guelph Cultural Heritage Action Plan (2020)
- Town of Cobourg Heritage Master Plan (2016)
- Burlington Heights Heritage Lands Management Plan (2016)
- City of London Western Counties Cultural Heritage Plan (2014)



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Cultural Heritage Evaluations

- Township of Tiny Heritage Register Review (on going)
- City of Barrie Heritage Register Review (2024)
- Aurora Heritage Register Review (2022)
- MacDonald Mowatt House, University of Toronto (2020)
- Designation of Main Street Presbyterian Church, Town of Erin (2019)
- Designation of St. Johns Anglican Church, Norwich (2019)
- Cultural Heritage Landscape evaluation, former Burlingham Farmstead, Prince Edward County (2018)
- City of Kitchener Heritage Property Inventory Update (2016)
- Niagara Parks Commission Queen Victoria Park Cultural Heritage Evaluation (2016)

Heritage Impact Assessments

- Redevelopment of former amusement park, Boblo Island (2022)
- Mount Pleasant Islamic Centre, Brampton (2020)
- Demolition of former farmhouse at 10536 McCowan Road, Markham (2020)
- Redevelopment of former Goldie and McCullough factory, Cambridge (2019)
- Redevelopment of historic Waterloo Post Office (2019)
- Redevelopment of former industrial facility, 57 Lakeport Road, Port Dalhousie (2018)
- Redevelopment of former Brick Brewery, Waterloo (2016)
- Homer Watson House Heritage Impact Assessment, Kitchener (2016)
- Expansion of Schneider Haus National Historic Site, Kitchener (2016)
- Heritage Impact Assessment for Pier 8, Hamilton (2015)
- Redevelopment of former American Standard factory, Cambridge (2014)

Heritage Assessments for Infrastructure Projects and Environmental Assessments

- Edgerton Bridge Assessment, Scugog (2024)
- Heritage and Cultural Heritage Landscape Assessment of Twenty Mile Creek Arch Bridge, Town of Lincoln (2021)
- Heritage Evaluation of Deer River, Burnt Dam and MacIntosh Bridges, Peterborough County (2021)
- Heritage Assessment of 10 Bridges within Rockcliffe Special Policy Area, Toronto (2019)
- Blenheim Road Realignment Collector Road EA, Cambridge (2014)
- Badley Bridge EA, Elora (2014)
- Black Bridge Road EA, Cambridge (2013)

Conservation Plans

- Conservation Plan for Log house, Burgetz Ave., Kitchener (2020)
- Conservation and Construction Protection Plan - 54 Margaret Avenue, Kitchener (2019)
- Black Bridge Strategic Conservation Plan, Cambridge (2013)

Tribunal Hearings:

- Redevelopment 18 Portland Street, Toronto (OLT) (2023)
- Redevelopment 292 Main Street, Grimsby (OLT) (2023)
- Redevelopment 1919 to 1949 Devonshire Court, Windsor (OLT) (2023)
- Redevelopment 9 Dee Road, Queenston (OLT) (2023)
- Redevelopment 18314 Hurontario Street, Caledon Village (OLT) (2023)
- Redevelopment 217 King Street S, Waterloo (OLT) (2022)
- Redevelopment 147 Main Street, Grimsby (OLT) (2022)
- Redevelopment of 12 Pearl Street, Burlington (OLT) (2021)

- Designation of 30 Ontario Street, St. Catharines (CRB) (2021)
- Designation of 27 Prideaux Street, Niagara on the Lake (CRB) (2021)
- Redevelopment of Langmaids Island, Lake of Bays (LPAT) (2021)
- Redevelopment of property at 64 Grand Ave., Cambridge (LPAT) (2019)
- Youngblood subdivision, Elora (LPAT) (2019)
- Demolition 174 St. Paul Street (Collingwood Heritage District) (LPAT) (2019)
- Port Credit Heritage Conservation District (LPAT) (2018)
- Brooklyn and College Hill HCD Plan (OMB) (2015)
- Rondeau HCD Plan (OMB) (2015)
- Designation of 108 Moore Street, Bradford (CRB) (2015)
- Downtown Meaford HCD Plan (OMB) (2014)

Master Plans, Growth Management Strategies and Policy Studies

- Township of West Lincoln East Smithville Secondary Plan (2022)
- Town of Frontenac Islands Maryville Secondary Plan (2021)
- Niagara-on-the-Lake Corridor Design Guidelines (2016)
- Cambridge West Master Environmental Servicing Plan (2013)
- Meadowlands Conservation Area Management Plan (2013)
- Township of Tiny Residential Land Use Study (2012)
- Port Severn Settlement Area Boundary Review (2012)
- Ministry of the Environment Review of the D-Series Land Use Guidelines (2012)
- Ministry of Infrastructure Review of Performance Indicators for the Growth Plan (2011)
- Township of West Lincoln Intensification Study and Employment Land Strategy (2011)
- City of Kawartha Lakes Growth Management Strategy (2010)

Development Planning

Provide consulting services for municipal and private sector clients for:

- Secondary Plans
- Draft plans of subdivision
- Consent
- Official Plan Amendment
- Zoning By-law Amendment
- Minor Variance
- Site Plan

Education

University of Waterloo

Bachelor of Environmental Studies,
Honours Urban and Regional
Planning
2004

Professional Associations

Registered Professional Planner

Member, Canadian Institute of
Planners (CIP)

Full Member, Ontario Professional
Planners Institute (OPPI)

Professional Member, Canadian
Association of Heritage Professionals

Contact

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Nicholas P. Bogaert

BES, MCIP, RPP, CAHP

Nicholas Bogaert is an Associate in MHBC's Kitchener Office. Nick joined MHBC as a Planner in 2004 after graduating from the University of Waterloo with a Bachelor of Environmental Studies Degree (Honours Planning – Co-operative Program).

Mr. Bogaert provides a full range of planning consulting services to public-sector and private-sector clients across Ontario. He has experience related to cultural heritage planning, visual impact assessment, greenfield development planning (plans of subdivision, site plan, condominium), infill development, redevelopment of brownfield and greyfield sites, and mineral aggregate resource site planning. Mr. Bogaert has been qualified as an expert in land use planning and cultural heritage planning before the Local Planning Appeal Tribunal / Ontario Land Tribunal, and the Toronto Local Appeal Body.

Mr. Bogaert is a full member of the Canadian Institute of Planners and the Ontario Professional Planners Institute. He is also a Professional Member of the Canadian Association of Heritage Professionals.

Mr. Bogaert is a member of the Cultural Heritage Division of MHBC, and Chair of the Heritage Wilmot Advisory Committee.

Professional History

Associate, MacNaughton Hermsen Britton Clarkson Planning Limited
(2019 – Present)

Planner/Senior Planner, MacNaughton Hermsen Britton Clarkson
Planning Limited (2004 – 2019)

Professional Service

Chairperson, Heritage Wilmot Advisory Committee (2012-present)

Vice-Chair, Heritage Wilmot Advisory Committee (2011-2012)

Professional Experience

Experience in all facets of development applications including applications for minor variance, severance, Plan of Subdivision, Plan of Condominium, Site Plan approval, Zoning By-law and Official Plan Amendment. Also experience in cultural heritage planning, including heritage impact assessments, cultural heritage evaluation reports, heritage conservation district studies / plans, cultural heritage landscape studies and management plans.



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Selected Project Experience

Cultural Heritage Planning

- Involved in the preparation of a Heritage Conservation District Study and Plan for the Town of Amherstburg.
- Involved in the preparation of a Heritage Conservation District Study for Melville Street (City of Hamilton).
- Involved in the preparation of a Cultural Heritage Screening Report for a proposed quarry (Brechtin Township).
- Involved in the preparation of a Heritage Impact Assessment for the redevelopment of a property in the Town of Cobourg.
- Involved in the preparation of a Cultural Heritage and Visual Impact Review for a proposed lot severance, including provision of evidence at OLT (Township of Woolwich).
- Involved in the preparation of a Cultural Heritage Resource Strategy for the North District Employment Lands (MiX) in the City of Markham.
- Involved in cultural heritage review of proposed addition to semi-detached dwelling in the City of Toronto, including provision of evidence at TLAB Hearing.
- Involved in the preparation of a Heritage Impact Assessment, Documentation Report and Conservation Plan for proposed mixed-use development, including involvement in LPAT settlement discussions (Burlington).
- Involved in the preparation of a Heritage Impact Assessment for a proposed aggregate extraction operation in the City of Burlington.
- Involved in the preparation of a Heritage Conservation District Study for the Village of Alton (Town of Caledon).
- Involved in the preparation of a Scoped Heritage Impact Assessment for a proposed aggregate extraction operation in Huron County.
- Involved in preparation of a Heritage Impact Assessment, Mothball Plan and Conservation Plan for proposed adaptive reuse of dwelling for a private school, including provision of evidence at LPAT (Town of Milton).
- Involved in the preparation of Cultural Heritage Action Plan for the City of Guelph.
- Involved in the preparation of a Heritage Impact Assessment for a proposed aggregate extraction operation in the Township of Woolwich.
- Involved in the preparation of an updated Heritage Conservation District Plan for the Port Credit Heritage Conservation District (City of Mississauga).
- Involved in the preparation of a Heritage Conservation District Plan for the Village of Port Stanley (Municipality of Central Elgin).
- Involved in the preparation of a Heritage Impact Assessment for the redevelopment of the Queenston Quarry (Town of Niagara-on-the-Lake).
- Involved in the preparation of a Heritage Impact Assessment for the redevelopment of a portion of the Huronia Regional Centre (City of Orillia).
- Involved in the preparation of a Cultural Heritage Survey for a proposed aggregate extraction operation in the Town of Caledon.
- Involved in the preparation of a Cultural Heritage Study for a proposed aggregate extraction operation in Melancthon Township.
- Involved in the preparation of a Cultural Heritage Evaluation Report for the 6th Line overpass in the Town of Innisfil.
- Involved in the preparation of a Heritage Impact Assessment for the redevelopment of a vacant property in the City of London.
- Involved in the preparation of a Heritage Impact Assessment for the redevelopment of a portion of Bob-lo Island in the Town of Amherstburg.
- Involved in the preparation of a Heritage Conservation District Study and Plan for Rondeau Provincial Park cottages (Municipality of Chatham-Kent).

- Involved in the preparation of a Heritage Master Plan and updated Heritage Conservation District Plans for the Town of Cobourg.
- Involved in the preparation of an updated Heritage Conservation District Plan for the Village of Barriefield (City of Kingston).
- Involved in the preparation of a Heritage Impact Assessment for a rural farmhouse in the City of Kitchener.
- Involved in the preparation of a Heritage Conservation District Study for the Victoria Square area (City of Markham).
- Involved in the preparation of a Heritage Conservation District Study and Plan for the Village of Bala (Township of Muskoka Lakes).
- Involved in a pilot project to work on integrating heritage attributes into building inspection reports for provincially significant heritage properties (Infrastructure Ontario).
- Involved in the preparation of a Heritage Conservation District Study and Plan for the Garden District (City of Toronto).
- Involved in the preparation of a Heritage Conservation District Study and Plan for Downtown Meaford.
- Involved in the preparation of a Cultural Heritage Study related to a proposed Sand and Gravel Pit (Manvers Township).
- Involved in the preparation of a Background and Issues Identification Report and Management Plan for the Burlington Heights Heritage Lands (Hamilton / Burlington).
- Involved in the preparation of a Heritage Conservation District Study and Plan for Downtown Oakville.
- Involved in the preparation of a Heritage Conservation District Study and Plan for the Brooklyn and College Hill areas in the City of Guelph.
- Involved in a Cultural Heritage Landscape Study for Rondeau Provincial Park.
- Involved in the preparation of a Heritage Impact Assessment for a rural farmstead in City of Cambridge.
- Involved in a Commemorative Integrity Statement Workshop for Oil Heritage District, and assisted in preparation of Commemorative Integrity Statement (Lambton County).
- Involved in an assessment of feasibility of acquiring Federal surplus land for development as affordable housing within a Heritage Conservation District (Kingston - Barriefield)

Professional Development Courses / Conferences

2004	Course: 'Plain Language for Planners', Ontario Professional Planners Institute, Toronto.
2004	Conference: 'Leading Edge – The Working Biosphere', Niagara Escarpment Commission, Burlington.
2011	Conference: 'Ontario Heritage Conference – Creating the Will', Cobourg.
2012	Workshop: 'Heritage Conservation District Workshop', University of Waterloo Heritage Resources Centre, Stratford.
2012	Conference: 'Ontario Heritage Conference - Beyond Borders: Heritage Best Practices, Kingston.
2012	Conference: 'National Heritage Summit - Heritage Conservation in Canada: What's Working?; What's Not?; And What Needs to Change?', Heritage Canada Foundation, Montreal.
2012	Conference presentation: Heritage Conservation District Misconceptions, Heritage Canada Conference, Montreal.
2013	Course: 'Planner at the Ontario Municipal Board', Ontario Professional Planners Institute, Waterloo.
2013	Conference presentation: Ideas for Effective Community Engagement – Case Study: Downtown Oakville Heritage Conservation District, OPPI Conference, London.
2013	Conference: 'Regeneration – Heritage Leads the Way', Heritage Canada Foundation, Ottawa.
2013	Conference presentation: Rondeau Provincial Park: A Cultural Heritage Landscape?, Heritage Canada Conference, Ottawa (with Peter Stewart, George Robb Architect).
2014	Conference: 'Ontario Heritage Conference' – Bridging the Past, Crossing into the Future, Cornwall.

- 2015 Conference: 'Ontario Heritage Conference' – Ontario Heritage: An Enriching Experience, Niagara-on-the-Lake.
- 2015 Conference presentation: Heritage Conservation and Urban Design: Challenges, Success, Balance, OPPI Conference, Toronto (with Dan Currie and Lashia Jones, MHBC).
- 2016 Conference: 'Ontario Heritage Conference' – Preservation in a Changing World, Stratford-St. Marys.
- 2019 Conference: 'Ontario Heritage Conference', Bluewater & Goderich.
- 2021 Conference: 'National Trust for Canada' – Hindsight 2020: Conservation, Disruption and the Future of Heritage, Virtual.
- 2023 Conference: 'Ontario Heritage Conference', London.
- 2023 Conference: 'National Trust for Canada' – Transforming Heritage, Ottawa.



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